

## NOTICE OF APPLICATION

City of Liberty Lake Planning, Engineering & Building Services (Review Authority) has published this Notice of Application to provide the opportunity to comment on the described proposal. The comment period ends 14 calendar days from the date issued. During this period, written comments may be submitted to the Review Authority. The file may be examined 8:00 a.m. to 5:00 p.m. Monday through Friday (except holidays) at City Hall. Project info is also available on the City website at [www.libertylakewa.gov/development/public\\_notices.asp](http://www.libertylakewa.gov/development/public_notices.asp). Questions may be directed to the Project Coordinator listed below.

**Proposal File #:** GRD2020-0002 **Zoning:** I

**Proposal:** Swiss Productions Manufacturing Facility

**Proposal Description:** Construction of a 25,657 sq. ft. manufacturing facility with associated site improvements.

**Site Address:** 2322 N Madson St.

**General Location:** Southeast corner of N. Madson St. & E. Knox Ave.

**Abbreviated Legal Description - Section:** 10 **Township:** 25 **Range:** 45

**Owner:** Richard Petrash **Phone:** 805-654-8525 #205

**Contact:** Ron Mackie **Phone:** 509-290-1491

**Application Date:** 6/11/2020 **Determination of Completeness Issued:** 6/12/2020

**Notice of Application Issued:** 6/12/2020 **Comment Deadline:** 4 pm, 6/25/2020

**City of Liberty Lake Permits Included in Application:** City Building Permits will need to be issued prior to beginning construction.

**Other Permits:** Liberty Lake Sewer District approval, WA State Dept. of Ecology (DOE) permits & approvals, Spokane Clean Air permits & approvals, and Spokane Regional Health District permits & approvals may need to be issued prior to construction.

**Required & Existing Studies:** A SEPA Checklist has been completed.

**Environmental Review:** City of Liberty Lake Planning, Engineering, & Building Services is reviewing the proposed project for probable adverse environmental impacts and expects to issue a Mitigated Determination of Nonsignificance (MDNS) for this project. Any SEPA appeal is governed by the City of Liberty Lake Environmental Ordinance and such appeal shall be filed within fourteen (14) days after the notice that the determination has been made and is appealable. The optional DNS process in WAC 197-11-355 is being used and this may be your only opportunity to comment on the environmental impacts of this portion of the proposal. The proposal may include mitigation measures under applicable codes, and the project review process may incorporate or require mitigation measures regardless of whether an EIS is prepared. A copy of the subsequent threshold determination for this proposal may be obtained upon request and will be supplied to reviewing agencies. Probable MDNS Conditions: Harvard Road Mitigation and other conditions as recommended by reviewing agencies.

**Development Regulations:** City of Liberty Lake Development & Building Codes, Engineering Design Standards, and the Stormwater Management Manual are the primary City regulations applicable to the site.

**Consistency:** In consideration of the above referenced development regulations and typical conditions and/or mitigating measures, the proposal is found to be consistent, as provided in RCW 36.70B.040, with the "type of land use", "level of development", "infrastructure", and "character of development".

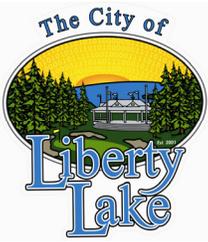
**Written Comments:** Agencies, tribes, and the public are encouraged to review and provide written comments on the proposed project and its probable environmental impacts. All comments received within 14 calendar days of the date this Notice of Application is issued, will be considered prior to making a decision on this application.

**Public Hearing:** As a Type I Project Permit, this action **is not** subject to a future public hearing.

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REVIEW AUTHORITY:

PROJECT COORDINATOR: Lisa D. Key, Director



**Planning, Engineering & Building Services**

22710 E. Country Vista, Liberty Lake, WA 99019

Phone: (509) 755-6708, Fax: (509) 755-6713, [www.libertylakewa.gov](http://www.libertylakewa.gov)

Date Issued: 6/12/2020

Signature: 





## SEPA CHECKLIST

Liberty Lake Planning & Building Services  
22710 E. Country Vista Drive, Liberty Lake WA 99019  
Phone: (509) 755-6707 Fax: (509) 755 6713  
Website: [www.libertylakewa.gov](http://www.libertylakewa.gov)

### City Development Code Article 10-6A, Environmental Ordinance

#### *PURPOSE OF CHECKLIST*

The State Environmental Policy Act (SEPA) chapter 43.21C RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the agency identify impact from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the agency decide whether an EIS is required.

#### *INSTRUCTIONS FOR APPLICANTS*

This environmental checklist asks you to describe some basic information about your proposal. Governmental agencies use this checklist to determine whether the environmental impacts or your proposal are significant, requiring preparation of an EIS. Answer the questions briefly, with the most precise information known, or give the best description you can.

You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer, or if a question does not apply to your proposal, write "do not know" or "does not apply". Complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations, such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the governmental agencies can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

#### *USE OF CHECKLIST FOR NON-PROJECT PROPOSALS*

Complete this checklist for non-project proposals, even though questions may be answered "does not apply." IN ADDITION, complete the SUPPLEMENTAL SHEET FOR NON-PROJECT ACTIONS (part D).

For non-project actions, the references in the checklist to the words "project," "applicant," and "property or site" should be read as "proposal," "proposer," and "affected geographic area," respectively.

**A. BACKGROUND**

1.	Name of proposed project & file #, if applicable: Swiss Productions
2.	Name of applicant: Architectural Ventures
3.	Address and phone number of applicant: 9802 E. Mission Avenue, Spokane Valley, WA 99206 509-290-1491
4.	Name of contact person: Ron R. Mackie
5.	Address and phone number of contact person: 9802 E. Mission Avenue, Spokane Valley, WA 99206 509-290-1491
6.	Date checklist prepared: 4-8-2020
7.	Agency requesting checklist: Planning
8.	Proposed timing or schedule (including phasing, if applicable): Construction start July 2020. Building shell complete December 2020. Depending on weather, Landscaping spring 2021. Tenant occupancy planned late summer/fall 2021.
9.	a. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. No
	b. Do you own or have options on land nearby or adjacent to this proposal? If yes, explain. No

10. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

Geotech report dated March 13, 2020, AllWest Testing

11. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

No, Site review & Building design review was approved by Design review Committee on April 6th, 2020.

12. List any government approvals or permits that will be needed for your proposal, if known.

General Building permits, Dept. of Ecology for drywells.

13. Give a brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page.

A 25,657 s.f. building for technical parts fabrication, shipping and office.  
Associated sitework, utilities and landscaping on an 87,056 s.f. site.

14. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit application related to this checklist.

Existing Industrial lot on southeast corner of N. Madson Street and E. Knox Avenue.  
Address 2322 N. Madson Street. Parcel no. 55104.9180 and a portion of 55104.9181.  
Parcel I Wagner Addition Short Plat - SPL2018-0001. Site located north of Appleway Avenue,  
Liberty Lake, WA

15. Does the proposed action lie within the Aquifer Sensitive Area (ASA)? The General Sewer Service Area? The Priority Sewer Service Area? (See: Spokane County's ASA Overlay zone Atlas for boundaries).

ASA - Yes

General Sewer Service Area - yes

**B. ENVIRONMENTAL ELEMENTS:**

1. EARTH

a. General description of the site (circle one): flat, rolling, hilly, steep slopes, mountainous, other:  
Site is generally flat with slope from south to northeast.

b. What is the steepest slope on the site (approximate percent slope)? 2-3% slopes

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)?  
If you know the classification of agricultural soils, specify them and note any prime farmland.

Soil described as Urban Land, gravelly substratum. Ground cover consisting of native grasses. Test pits declared clayey sand to poorly/well graded gravel glaciofluvial deposits. See Geotech report.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

No

e. Describe the purpose, type and approximate quantities of any filling or grading proposed. Indicate source of fill.

Topsoil removed and reused. Majority of existing material to be reused compacted for subbase material. Approx 1,800 cu. yds. of existing unsuitable material planned for removal. Approximately 200 cu. yds. fill. Approx. 1,200 cu yds. gravel subbase to be brought in.

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

No. Design matches existing perimeter grades and design of swales within perimeter to contain.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Building coverage on-site is 29.4% and impervious surfaces consisting of asphalt and concrete are approx. 43%. Total estimated 72.5%

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Grass swales and perimeter landscaping. Keeping existing swale, landscaping in northwest corner of lot.

2. AIR

a. What type of emissions to the air would result from the proposal (i.e., dust, automobile, odors, industrial, wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities, if known.

General construction traffic and some heavy equipment during stages of construction.

Future automobile and delivery truck traffic during business hours.

This facility has minimum general public access needs.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

No

c. Proposed measures to reduce or control emissions or other impacts to air, if any:

Will follow SCAPA guidelines for dust control during construction operations and after construction all travel areas to be paved.

3. WATER

a. Surface:

1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

No

2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

No

3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

Does not apply

4) Will the proposal require surface water withdrawals or diversions? Give a general description, purpose, and approximate quantities if known.

No

5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No

6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No

b. Ground:

1) Will groundwater be withdrawn, or will water be discharged to ground water? Give general description, purpose, and approximate quantities if known.

Stormwater and irrigation water would be discharged into ground.

2) Describe waste material that will be discharged into the ground from septic tanks or other sanitary waste treatment facility. Describe the general size of the system, the number of houses to be served (if applicable), or the number of persons the system(s) are expected to serve.

Not applicable.

3) Describe any systems, other than those designed for the disposal of sanitary waste, installed for the purpose of discharging fluids below the ground surface (including systems such as those for the disposal of storm water or drainage from floor drains). Describe the type of system, the amount of material to be disposed of through the system and the types of materials likely to be disposed of (including materials which may enter the system inadvertently through spills or as a result of fire fighting activities).

Roof drainage from reinforced rubber membrane roofing to be directed to roof drains and tied into pvc rainwater leaders tied directly into drywells per plans.  
Floor drains installed in restrooms only tied directly into sewer piping.  
Secondary containment provided for materials as required.

4) Will any chemicals (especially organic solvents or petroleum fuels) be stored in above-ground or underground storage tanks? If so, what types and quantities of materials will be stored?

No materials to be stored in tanks. See below for chemicals planned and secondary containment planned.

5) What protective measures will be taken to ensure that leaks or spills of any chemicals stored or used on site will not be allowed to percolate to groundwater (this includes measures to keep chemicals out of disposal systems described in 3b(2) and 3b(3)?

Secondary containment products to be used as required. Slab will also have a 15 mil. vapor barrier installed under concrete. Site areas sloped to grass treatment swales.

c. Water Runoff (including storm water)

1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Site stormwater runoff to be diverted into grass treatment swales and drywells. Roof areas to be directed to roof drains and piped directly into drywells. See stormwater report for areas.

This water will not flow into other waters.

2) Will any chemicals be stored, handled or used on the site in a location where a spill or leak will drain to surface or groundwater or to a storm water disposal system discharging to surface or groundwater?

Owner to submit planned critical material with permit. This operation will require some oils and lubricants for robotic equipment and machines. Planning for 2 110 gal. drums of oil and 3 55 gal. drums of luristic oil. all drums to be set on secondary containment platform. Possible design need for a 165 gal. drum of acetone. This would be stored in a fireproof containment cabinet.

3) Could waste materials enter ground or surface waters? If so, generally describe.

No

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any (if the proposed action lies within the Aquifer Sensitive Area be especially clear on explanations relating to facilities concerning Sections 3b(4), 3b(5), and 3c(2) of this checklist).

Floor drains piped to sewer system. Roof drains piped to drywells. runoff from site areas directed into grass treatment swales.

#### 4. PLANTS

a. Check or circle types of vegetation found on the site:

deciduous tree: alder, maple, aspen, other

evergreen tree: fir, cedar, pine, other

shrubs

grass

pasture

crop or grain

wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other

water plants: water lily, eelgrass, milfoil, other

other types of vegetation:

b. What kind and amount of vegetation will be removed or altered?

Site areas stripped of native grasses.

Remove existing trees only in areas required by paving and building.

c. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Maintain existing swale, landscaping, trees in northwest lot corner. provide new landscaping, trees around perimeter and adjacent building to enhance lots.

5. ANIMALS

a. Circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

birds: hawk, heron, eagle, songbirds, other:

mammals: deer, bear, elk, beaver, other:

fish: bass, salmon, trout, herring, shellfish, other:

b. List any threatened or endangered species known to be on or near the site.

Do not know.

c. Is the site part of a migration route? If so, explain.

Do not know.

d. Proposed measures to preserve or enhance wildlife, if any:

Maintain existing landscaping and trees. Providing new landscaping and trees.  
Grass swales

6. ENERGY AND NATURAL RESOURCES

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

Electric for power and lighting. Robotic equipment.  
Gas for heating.

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No, building is setback off of property.

c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

Structural Insulated concrete wall panels, insulated roof deck, natural daylighting with windows and skylights. Insulated tinted glass in thermally broken aluminum framing systems. High output led light fixtures. Roof top units with economizers.

7. ENVIRONMENTAL HEALTH

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

None known at this time. Tenant will provide eyewash stations as required for their operation. Any hazardous chemicals would be stored in fireproof cabinet.

1) Describe special emergency services that might be required.

General potential of police and fire services.

2) Proposed measures to reduce or control environmental health hazards, if any:

Building walls are solid concrete, roof structure is all steel. Building to be equipped with an ESFR fire sprinkler system, fully monitored. Chemicals are stored in fireproof cabinet.

b. Noise

1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

None.

2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Short term general construction traffic and occasional heavy equipment.  
Long term would be employee traffic and delivery truck traffic.  
This operation has shift work that would minimize number of employees.

3) Proposed measure to reduce or control noise impacts, if any:

Truck loading set off from facing streets. Landscaped perimeter. Employee shifts.

8. LAND AND SHORELINE USE

a. What is the current use of the site and adjacent properties?

Vacant lot. North is RV dealership and service center with RV lot.  
South is vacant lot for development. East is wine cellars facility.  
West across street is Quality Inn and Suites.

b. Has the site been used for agriculture? If so, describe.

No

c. Describe any structures on the site.

None

d. Will any structures be demolished? If so, which?

No

e. What is the current zoning classification of the site? L I, Light Industrial

f. What is the current Comprehensive Plan land use designation of the site?

Industrial

g. If applicable, what is the current shoreline master program designation of the site?

N/A

h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

No

i. Approximately how many people would reside or work in the completed project?

Building planned to have up to 40 employees. Will have shift work.

j. Approximately how many people would the completed project displace?

none

k. Proposed measures to avoid or reduce displacement impacts, if any:

None, some employees will be moving with this company from California.

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

Building use fits within approved use category of Industrial category.

9. HOUSING

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

None

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

None

c. Proposed measures to reduce or control housing impacts, if any:

Does not apply

10. AESTHETICS

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

24'-0" high walls; 25'-0" top of Mansard overhang.  
principal exterior material is painted concrete with some formliner and brick inlay.

b. What views in the immediate vicinity would be altered or obstructed?

None

c. Proposed measures to reduce or control aesthetic impacts, if any:

Building design with wall panels with formliner stone texture, brick inlay, metal mansard feature, tinted glass. Landscape at building and perimeter.

11. LIGHT AND GLARE

a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Site lighting and car/truck traffic. Dusk to dawn.

b. Could light or glare from the finished project be a safety hazard or interfere with views?

No

c. What existing off-site sources of light or glare may affect your proposal?

None

d. Proposed measures to reduce or control light and glare impacts, if any:

Exterior site lighting shielded to maintain lighting on subject property.  
Perimeter landscaping, trees used to soften car lights.

12. RECREATION

a. What designated and informal recreational opportunities are in the immediate vicinity?

None

b. Would the proposed project displace any existing recreational uses? If so, describe.

No

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

None

13. HISTORIC AND CULTURAL PRESERVATION

a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers, known to be on or next to the site? If so, generally describe.

Do not know

b. Generally describe any landmarks or evidence of historic, archaeological, scientific or cultural importance known to be on or next to the site.

Do not know

c. Proposed measures to reduce or control impacts, if any:

None

14. TRANSPORTATION

a. Identify public streets and highways serving the site and describe proposed access to the existing street system. Show on site plans, if any.

Site to be served by driveways off of N. Madson Street from west and E. Knox Avenue from north. These roads connect back to Appleway Avenue and access to I-90 freeway.

b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?

No.  
Transit stops up on Appleway.

c. How many parking spaces would the completed project have? How many would the project eliminate?

45 total spaces provided.  
Will not eliminate any.

d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).

No

e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No

f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.

Average daily trips per Manual is 273.  
Shift work.  
35 am peak trips; 50 pm peak trips

g. Proposed measures to reduce or control transportation impacts, if any:

Company uses shift work.

15. PUBLIC SERVICES

a. Would the project result in an increased need for public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

General increase of Police and Fire.

b. Proposed measures to reduce or control direct impacts on public services, if any.

Building to be fully sprinklered and monitored system.

16. UTILITIES

a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other:

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

Liberty Lake Sewer district for sewer and water.

Gas - Avista

Power- Avista Utilities

Telephone - ?

**C. SIGNATURE**

I, the undersigned, swear under the penalty of perjury that the above responses are made truthfully and to the best of my knowledge. I also understand that, should there be any willful misrepresentation or willful lack of full disclosure on my part, the agency may withdraw any determination of non-significance that it might issue in reliance upon this checklist.

<b>Proponent:</b> Ron Mackie	
PRINT NAME	SIGNATURE
<b>Proponent Address:</b> 9802 E. Mission Avenue	Spokane Valley WA 99206
STREET ADDRESS	CITY STATE ZIP
<b>Proponent Phone:</b> 509-290-1491	<b>Proponent Fax:</b>
<b>Person completing the form:</b> Ron Mackie	
<b>Phone:</b> 509-290-1491	<b>Date:</b> 4-8-2020

**FOR PLANNING & BUILDING SERVICES USE ONLY**

Staff Member(s) Reviewing Checklist:

Date Checklist Reviewed:

Based on this staff review of the environmental checklist and other pertinent information, the staff:

- A. Concludes that there are no probable significant adverse impacts and recommends a determination of nonsignificance (DNS).
- B. Concludes that probable significant adverse environmental impacts do exist for the current proposal and recommends a mitigated determination of nonsignificance with conditions (MDNS).
- C. Concludes that there are probable significant adverse environmental impacts and recommends a determination of significance (DS).

**REFER TO FEE SCHEDULE FOR FILING FEE**

**NON-PROJECT ACTIONS MUST ALSO COMPLETE THE SUPPLEMENTAL SHEET - PART D**